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NOTICE TO ALL FIRMS

Date: October 10, 2022
To: All Prospective Bidders
From: Sam Li
Deputy Director of Purchasing
Re: Addendum Number 4
IFB # C1536 – Admissions Office Renovation

Note:

The revised drawings DM-100.SKL, DM-101.SKL and DM-102.SK1 were accidentally omitted from Addendum No. 3, please see below for those drawings.

THIS ADDENDUM IS PART OF THE CONTRACT DOCUMENT AND SHALL BE INCLUDED WITH YOUR REQUEST FOR PROPOSAL SUBMITTAL. YOUR SIGNATURE BELOW WARRANTS THAT YOU UNDERSTAND THIS ADDENDUM AND THAT YOU HAVE MADE THE APPROPRIATE ADJUSTMENTS IN YOUR PROPOSAL AND CALCULATIONS.

Signature

Print Name and Title of Authorized Representative

Print Name of Company/Partnership/Individual

Date

rev. no. date revisions

10/05/2022 ADDENDUM #3

WEST COURTYARD WEST 28TH STREET EAST COURTYARD

A

B

C

D

E

Private Lots

WEST 27TH STREET

WEST 26TH STREET

RENOVATION SPACE

EXIT TO STREET

LOCATION PLAN
NOT TO SCALE

BLOCK: T16
LOT: 55

Structural Consultants
Allan Margolin & Associates
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Elevator Consultants
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PROJECT:
CO-ED DORMITORY
ADMISSIONS OFFICE RELOCATION
230 WEST 27TH ST
NEW YORK NY 10001

DRAWING TITLE:
**CELLAR
DEMOLITION PLAN**

SEAL & SIGNATURE:	DATE: 09.01.2022
	PROJECT No: 13284.154
	DRAWING BY: GD & TM
	CHK BY: DH & CK
DWG No:	
DM-100.SK1	
SCALE: AS NOTED 11 of 61	

1 CELLAR DEMOLITION PLAN
SCALE : 1/4" = 1'-0"

DEMOLITION NOTES

1 REMOVE EXISTING GMB WALLS AND ALL ASSOCIATED OUTLETS & EQUIPMENT AS INDICATED.

2 REMOVE EXISTING CMU WALL AND ALL ASSOCIATED OUTLETS & EQUIPMENT AS INDICATED.

3 REMOVE EXISTING DOOR AND FRAME.

4 REMOVE EXISTING PLUMBING PIPING. REFER TO PLUMBING DRAWINGS FOR DETAILS.

5 REMOVE EXISTING ELECTRICAL PANEL AND CONDUITS. REFER TO ELECTRICAL DRAWINGS FOR DETAILS.

6 EXISTING STAIR TO REMAIN. REMOVE EXISTING ALUMINUM TREADS. EXISTING TERRAZZO LANDINGS, METAL STAIR AND RAILING TO REMAIN AND BE PROTECTED AS REQUIRED.

7 REMOVE EXISTING FLOOR DRAIN. REFER TO PLUMBING DRAWING FOR DETAILS.

8 EXISTING DUCTWORK TO REMAIN. PROVIDE PROTECTION AS REQUIRED.

9 REMOVE EXISTING VINYL FLOORING DOWN TO SLAB.

10 REMOVE EXISTING VGT FLOORING DOWN TO SLAB.

11 REMOVE EXISTING VINYL BASE.

12 OPEN EXISTING SLAB FOR NEW ELEVATOR PIT AND FOOTINGS. REFER TO ELEVATOR DRAWINGS, STRUCTURAL DRAWINGS AND GEOTECHNICAL REPORT FOR DETAILS. COORDINATE WITH CONSTRUCTION PLANS, ELEVATOR DRAWINGS AND STRUCTURAL DRAWINGS FOR LOCATION.

13 REMOVE EXISTING LOW CMU WALL AND PLUMBING PIPING. COORDINATE WITH PLUMBING DRAWINGS.

14 OPEN EXISTING SLAB FOR REMOVAL OF EXISTING RECESSED PLUMBING PIPING. COORDINATE WITH PLUMBING DRAWINGS.

15 OPEN EXISTING SLAB FOR NEW PLUMBING WORK. COORDINATE WITH PLUMBING DRAWINGS.

16 OPEN EXISTING CMU WALL AS REQUIRED FOR NEW PLUMBING WORK. COORDINATE WITH PLUMBING DRAWINGS.

17 EXISTING METAL RAILING, POSTS, STINGERS AND RISERS TO BE STRIPPED AND PREP FOR PAINTING.

18 TRENCH EXISTING WALL FOR NEW POWER AND DATA. COORDINATE WITH POWER PLAN AND ELEVATIONS FOR LOCATIONS.

19 REMOVE ALL EXISTING CONSTRUCTION DEBRIS DOWN TO EXISTING SLAB.

20 GC TO PROVIDE TEMPORARY CONSTRUCTION PARTITION AND TEMPORARY DOOR AS REQUIRED. LOCATION TO BE ADJUSTED AS REQUIRED DURING THE CONSTRUCTION

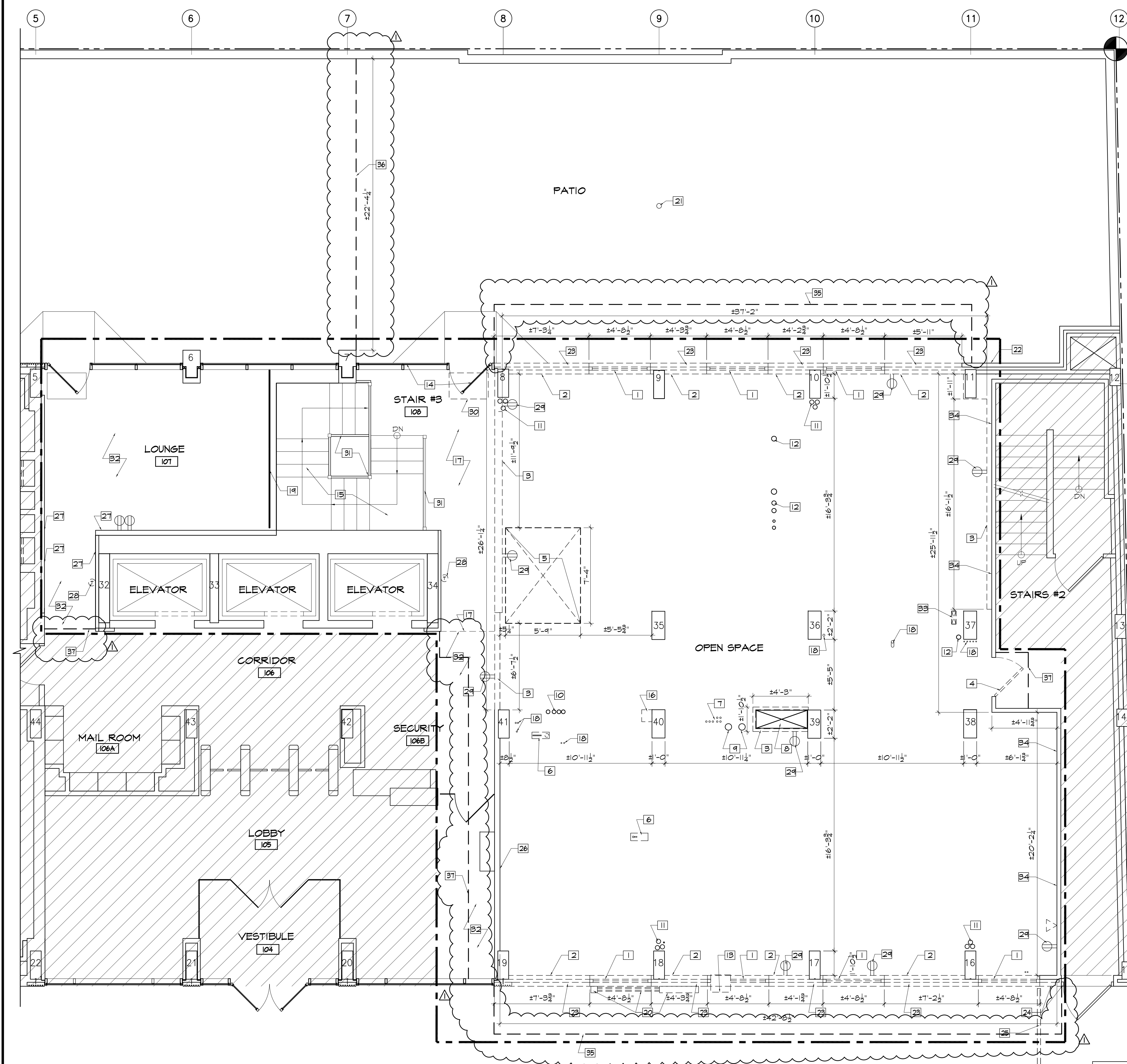
GENERAL NOTES:

- ALL EXISTING EQUIPMENT TO REMAIN TO BE PROTECTED AS REQUIRED.
- CONTRACTOR TO PROVIDE PROTECTION TO ALL EXISTING WALLS AND CEILINGS THAT ARE TO REMAIN (TYP.).
- PROTECT ALL ADJACENT AREAS AND PATHWAYS OF TRAVEL TO AND FROM AREAS OF WORK.
- CONTRACTOR TO PERFORM A GROUND PENETRATING RADAR (GPR) SCAN OF THE EXISTING SLAB TO VERIFY ANY EXISTING CONDUITS AND/OR PIPING EMBEDDED IN THE SLAB. PROVIDE FIELD VERIFICATION DRAWINGS PRIOR TO THE SUBMITTAL OF ELEVATOR AND PLUMBING LAYOUT SHOP DRAWINGS. ALL SCANNING TO BE DONE PRIOR TO DEMOLITION.

LEGEND

- DOOR & DOOR FRAME TO BE REMOVED
- WALL TO BE REMOVED
- WALL TO REMAIN
- CONSTRUCTION LIMIT LINE

ISSUED FOR BID 09.01.2022



1 1ST FLOOR DEMOLITION PLAN
DM-101 SCALE: 1/4" = 1'-0"

- DEMOLITION NOTES
- 1 REMOVE EXISTING WINDOWS.

2 REMOVE EXISTING EXTERIOR CMU WALL AND ALL ASSOCIATED OUTLETS & EQUIPMENT AS INDICATED.

3 REMOVE EXISTING GMB WALL AND ALL ASSOCIATED OUTLETS & EQUIPMENT AS INDICATED.

4 REMOVE EXISTING DOOR AND FRAME.

5 OPEN EXISTING FLOOR SLAB FOR NEW ELEVATOR SHAFT. COORDINATE WITH CONSTRUCTION PLANS, ELEVATOR DRAWINGS AND STRUCTURAL DRAWINGS FOR LOCATION AND DETAILS.

6 REMOVE EXISTING ELECTRICAL RISERS AND ELECTRICAL PANEL. REFER TO ELECTRICAL DRAWINGS FOR DETAILS.

7 EXISTING ELECTRICAL RISERS TO BE REROUTED BELOW THE SLAB AND BELOW CEILING. REFER TO ELECTRICAL DRAWINGS FOR DETAILS.

8 EXISTING DUCTWORK TO REMAIN. PROVIDE PROTECTION AS REQUIRED.

9 EXISTING STEAM RISERS TO REMAIN. PROVIDE PROTECTION AS REQUIRED.

10 EXISTING LARGE ELECTRICAL RISERS TO REMAIN. PROVIDE PROTECTION AS REQUIRED.

11 EXISTING HEATING/COOLING RISERS TO REMAIN. PROVIDE PROTECTION AS REQUIRED.

12 EXISTING PLUMBING RISERS TO REMAIN. PROVIDE PROTECTION AS REQUIRED.

13 REMOVE EXISTING AC WINDOW UNIT.

14 EXISTING GLASS DOOR AND WINDOW TO REMAIN. PROVIDE PROTECTION AS REQUIRED.

15 EXISTING STAIR TO REMAIN. REMOVE EXISTING ALUMINUM TREADS. EXISTING TERRAZZO LANDINGS, METAL STAIR AND RAILING TO REMAIN AND BE PROTECTED AS REQUIRED.

16 REMOVE EXISTING FLOOR ELECTRICAL CONNECTION AND GMB ENCLOSURE. REFER TO ELECTRICAL DRAWINGS FOR DETAILS.

17 REMOVE EXISTING CERAMIC TILE FLOOR DOWN TO SLAB.

18 REMOVE EXISTING ELECTRICAL RISERS. REFER TO ELECTRICAL DRAWINGS FOR DETAILS.

19 GLASS PARTITION TO REMAIN. GLASS TO BE FULLY COVER TO BLOCK THE VIEW FROM THE LOUNGE. PROVIDE PROTECTION AS REQUIRED.

20 REMOVE EXISTING EXTERIOR WALL MOUNTED POWER BOXES AND CONDUITS. COORDINATE WITH ELECTRICAL DRAWING.

21 REMOVE EXISTING PATIO FLOOR DRAIN. REMOVE AND SAVE EXISTING PATIO PAVERS AS REQUIRE FOR PLUMBING WORK. REFER TO PLUMBING DRAWINGS FOR DETAILS.

22 PROVIDE OPENINGS IN EXISTING CMU WALL FOR NEW MECHANICAL PIPING. REFER TO MECHANICAL DRAWINGS FOR DETAILS.

23 CAREFULLY REMOVE AND SAVE EXISTING EXTERIOR SPLIT FACE CONCRETE BLOCK FOR FUTURE REINSTALLATION AND PATCHING.

24 PARTIALLY OPEN EXISTING EXTERIOR SPLIT FACE CONCRETE FACE FOR NEW WINDOW INSTALLATION. EXISTING HM DOOR AND FRAME TO REMAIN. PROVIDE SUPPORT AS REQUIRED DURING THE PARTIAL REMOVAL OF THE EXISTING BLOCK.

25 TEMPORARILY REMOVE AND SAVE FOR REINSTALLATION EXISTING METAL FENCE.

26 OPEN EXISTING GMB WALL FOR NEW POWER, DATA, AV INSTALLATION. COORDINATE WITH FURNITURE AND ELECTRICAL DRAWINGS. INSTALL NEW BLOCKING FOR AV EQUIPMENT.

27 OPEN EXISTING GMB WALL FOR NEW DOOR, DOOR ACTUATOR & MAGNETIC HOLD OPEN COORDINATE WITH NEW WORK FOR EQUIPMENT AND LOCATION. COORDINATE WITH ELECTRICAL AND FIRE ALARM DRAWINGS.

28 REMOVE AND SAVE FOR RELOCATION EXISTING WALL MOUNTED THERMOSTAT. COORDINATE WITH MECHANICAL DRAWING.

29 REMOVE EXISTING POWER OUTLET.

30 REMOVE EXISTING RECESSED FLOOR MAT.

31 EXISTING METAL RAILING, POSTS, STINGERS AND RISERS TO BE STRIPPED AND PREP FOR PAINTING.

32 EXISTING LOBBY TILE FLOOR TO BE PROTECTED AS REQUIRED.

33 REMOVE EXISTING DUCT RISER. COORDINATE WITH MECHANICAL DRAWINGS.

34 TRENCH EXISTING WALL FOR NEW POWER AND DATA. COORDINATE WITH POWER PLAN AND ELEVATIONS FOR LOCATIONS.

35 GC TO PROVIDE TEMPORARY EXTERIOR SHED FOR SECURITY AND WEATHER PROTECTION DURING THE OPENING OF THE BUILDING FACADE AND INSTALLATION OF THE NEW STOREFRONT AND DOORS.

36 GC TO PROVIDE CONSTRUCTION BARRIER AND TEMPORARY DOOR TO SEPARATE THE CONSTRUCTION AREA.

37 GC TO PROVIDE TEMPORARY POLY BARRIER AS REQUIRED.
- GENERAL NOTES:

1. ALL EXISTING EQUIPMENT TO REMAIN TO BE PROTECTED AS REQUIRED.

2. CONTRACTOR TO PROVIDE PROTECTION TO ALL EXISTING WALLS AND CEILINGS THAT ARE TO REMAIN (TYP.).

3. PROTECT ALL ADJACENT AREAS AND PATHWAYS OF TRAVEL TO AND FROM AREAS OF WORK.

4. CONTRACTOR TO PERFORM A GROUND PENETRATING RADAR (GPR) SCAN OF THE EXISTING SLAB TO VERIFY ANY EXISTING CONDUITS AND/OR PIPING EMBEDDED IN THE SLAB. PROVIDE FIELD VERIFICATION DRAWINGS PRIOR TO THE SUBMITTAL OF THE ELEVATOR AND MEP LAYOUT SHOP DRAWINGS. ALL SCANNING TO BE DONE PRIOR TO DEMOLITION.
- LEGEND

DOOR & DOOR FRAME TO BE REMOVED

WALL TO BE REMOVED

WALL TO REMAIN

CONSTRUCTION LIMIT LINE

rev. no. date revisions

10/05/2022 ADDENDUM #3

WEST COURTYARD WEST 28TH STREET EAST COURTYARD

WEST 28TH STREET
WEST 27TH STREET
WEST 26TH STREET
EIGHTH AVENUE
SEVENTH AVENUE
Private Lots
Nagler
RENOVATION SPACE
EXIT TO STREET
LOCATION PLAN
NOT TO SCALE
BLOCK: T16
LOT: 55

Structural Consultants

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PROJECT:

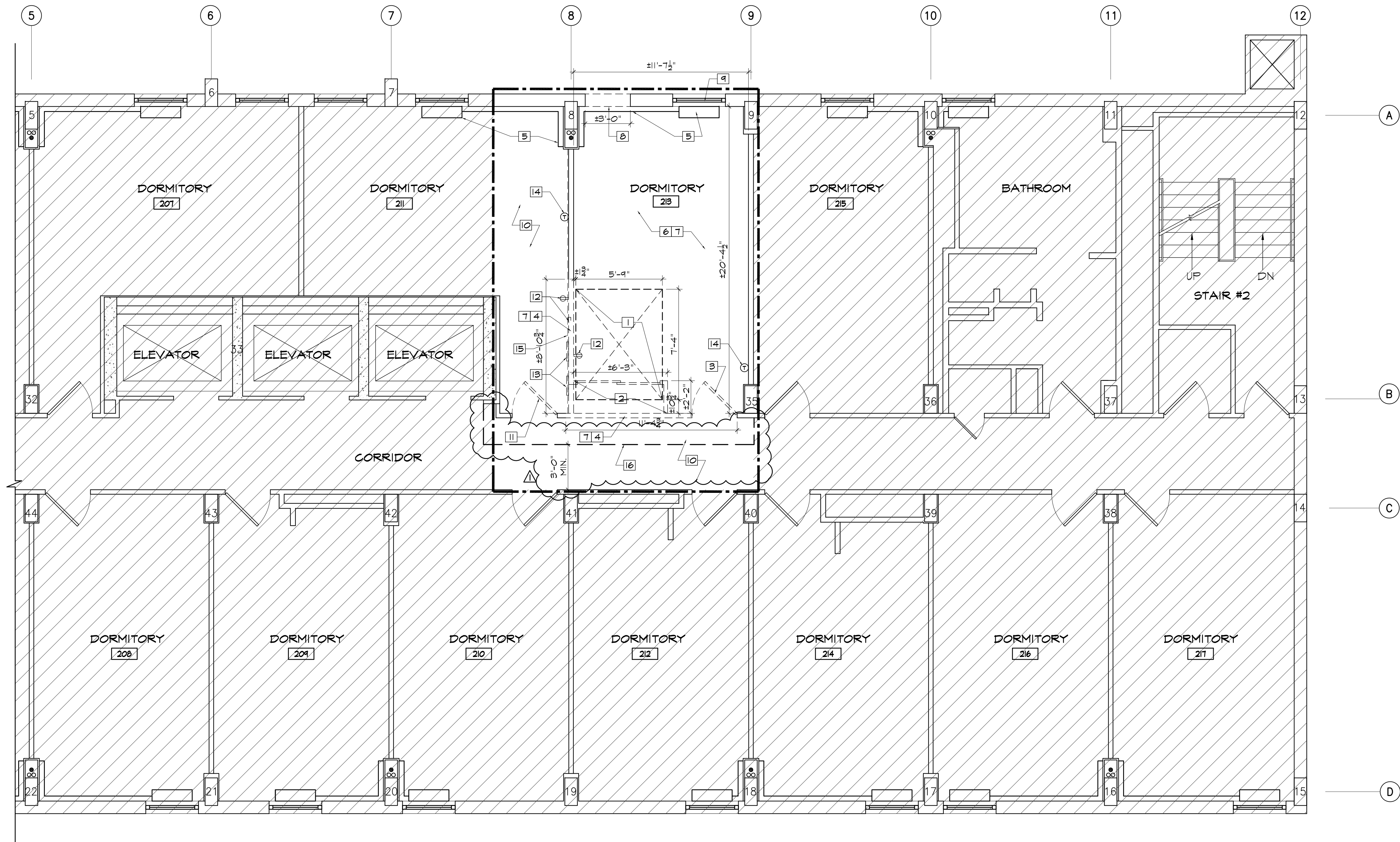
CO-ED DORMITORY
ADMISSIONS OFFICE RELOCATION
230 WEST 27TH ST
NEW YORK NY 10001

DRAWING TITLE:

1ST FLOOR
DEMOLITION PLAN

SEAL & SIGNATURE:

DATE: 09.01.2022
PROJECT No: 13284.154
DRAWING BY: GD & TM
CHK BY: DH & CK
DWG No:
DM-101.SK1
SCALE: AS NOTED 12 of 61



1 2ND FLOOR DEMOLITION PLAN
SCALE : 1/4" = 1'-0"

DEMOLITION NOTES

- 1 OPEN EXISTING FLOOR SLAB FOR NEW ELEVATOR SHAFT. COORDINATE WITH CONSTRUCTION PLANS, ELEVATOR DRAWINGS AND STRUCTURAL DRAWINGS FOR LOCATION AND DETAILS.
- 2 REMOVE EXISTING CLOSET, INCLUDING WALLS, DOORS AND ACCESSORIES.
- 3 REMOVE EXISTING DOOR AND FRAME.
- 4 REMOVE EXISTING WALL AND ALL ASSOCIATED OUTLETS & EQUIPMENT AS INDICATED.
- 5 EXISTING HVAC UNIT AND PIPING WITH ENCLOSURE TO REMAIN. PROVIDE PROTECTION AS REQUIRED.
- 6 REMOVE EXISTING VCT FLOOR TILES DOWN TO SLAB.
- 7 REMOVE EXISTING VINYL BASE.
- 8 PROVIDE OPENING IN EXISTING CMU WALL FOR NEW DUCTWORK AND EXTERIOR GRILLE. COORDINATE WITH MECHANICAL DRAWINGS.
- 9 EXISTING WINDOW TO REMAIN AND BE PROTECTED.
- 10 EXISTING FLOORING AND WALLS TO BE PROTECTED (TYP.).
- 11 REMOVE AND SAVE FOR REINSTALLATION EXISTING HM DOOR & FRAME.
- 12 REMOVE EXISTING OUTLETS AND ELECTRICAL BACKBOXES.
- 13 REMOVE EXISTING WALL MOUNTED HOOKS AND TURN OVER TO FIT.
- 14 EXISTING SURFACE MOUNTED THERMOSTAT & WIREMOLD TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- 15 REMOVE EXISTING SURFACE MOUNTED WIREMOLD AT THE BASE OF THE WALL. DATA CABLES TO BE DISCONNECTED AS REQUIRED. GC TO COORDINATE WITH FIT PRIOR REMOVAL OF CABLING.
- 16 GC TO PROVIDE CONSTRUCTION BARRIER AND TEMPORARY DOOR.

GENERAL NOTES:

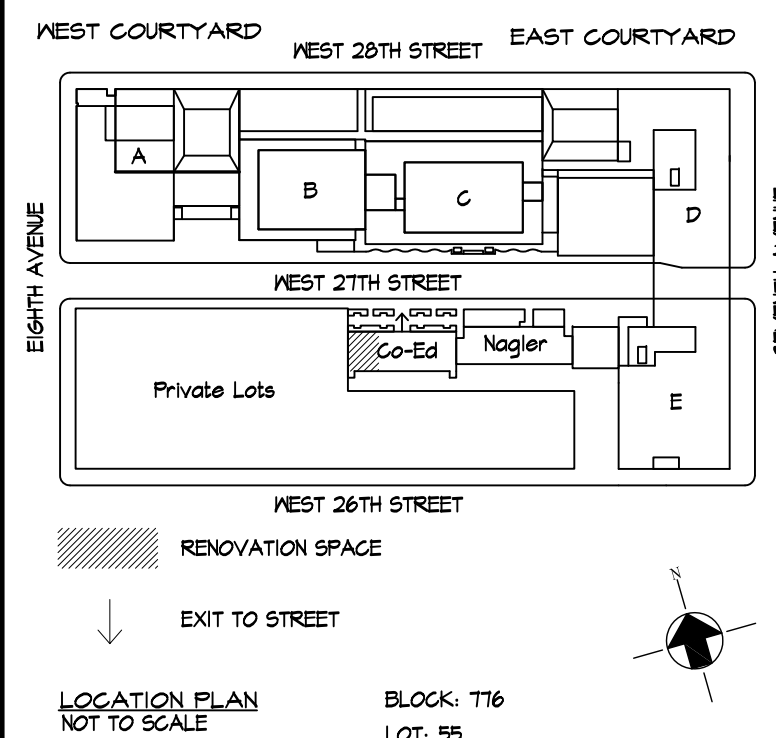
1. ALL EXISTING EQUIPMENT TO REMAIN TO BE PROTECTED AS REQUIRED.
2. CONTRACTOR TO PROVIDE PROTECTION TO ALL EXISTING WALLS AND CEILINGS THAT ARE TO REMAIN (TYP.).
3. PROTECT ALL ADJACENT AREAS AND PATHWAYS OF TRAVEL TO AND FROM AREAS OF WORK.
4. CONTRACTOR TO PERFORM A GROUND PENETRATING RADAR (GPR) SCAN OF THE EXISTING SLAB TO VERIFY ANY EXISTING CONDUITS AND/OR PIPING EMBEDDED IN THE SLAB. PROVIDE FIELD VERIFICATION DRAWINGS PRIOR TO THE SUBMITTAL OF THE ELEVATOR AND MEP LAYOUT SHOP DRAWINGS. ALL SCANNING TO BE DONE PRIOR TO DEMOLITION.

LEGEND

- - - - - DOOR & DOOR FRAME TO BE REMOVED
 = = = = = WALL TO BE REMOVED
 = = = = = WALL TO REMAIN
 - - - - - CONSTRUCTION LIMIT LINE

rev. no. date revisions

10/05/2022 ADDENDUM #3



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PROJECT:
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 230 WEST 27TH ST
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DRAWING TITLE:

**2ND FLOOR
 DEMOLITION PLAN**

SEAL & SIGNATURE:

DATE: 09.01.2022

PROJECT No: 13284.154

DRAWING BY: GD & TM

CHK BY: DH & CK

DWG No:

DM-102.SK1

SCALE: AS NOTED

13 of 61

ISSUED FOR BID 09.01.2022